

## Construction Notes

### 1. Plans

Plans should show a ground floor layout plan, sections through parts of the alterations to show the method of construction and elevations to show the proposed changes.

### 2. External Infill Wall/Window

New external wall where the garage door was should achieve a 'u' value of 0.30 this will normally be done using a cavity wall construction with insulation in the cavity (cavity width normally 85mm [85mm glass mineral wool or 45mm rigid polyisocyanurate foam]). The existing external wall will need to be up graded with regards to insulation. This can be done in several ways either by applying an insulated product (55mm rigid polyisocyanurate foam) to all existing walls and plaster boarding, providing a separate wall using either timber stud or block work insulation either in stud or cavity created so as to achieve a u value of 0.3. Alternative insulated products are available thickness may vary.

Any windows should be double-glazed, Low E and safety glazed in critical locations and thermal closures around cavity

### 3. Preventing Damp Penetration

Show means of ensuring that the existing external walls will resist the passage of moisture, if not already resistant to damp penetration (i.e. single-skin walls should be upgraded, usually by painting internally with a liquid damp-proof membrane. A damp-proof membrane should also be placed on the floor slab, with insulation and cement screed finish. A suspended timber floor constructed could be used with insulation between the joists if ventilation of the sub level is possible in two directions and a void of 150mm is maintained.

### 4. Ventilation

New windows should have an opening area 1/20th of the floor area and background ventilation to be 8000mm<sup>2</sup> for habitable rooms and 5000mm<sup>2</sup> to kitchens and bathrooms and utility rooms. Mechanical ventilation will also be required to kitchen, bathrooms etc which should be vented to outside of the property.

### 5. Heating

Details should be provided showing the means of heating the new habitable room and any controls detailed TRV's etc.

### 6. Roof Insulation

The roof area should be insulated as the room is now habitable / heated. A pitched roof should have 270mm glass fibre insulation and a flat roof 150mm rigid polyisocyanurate foam between joists and 12mm below. Alternative insulated products are available thickness may vary.

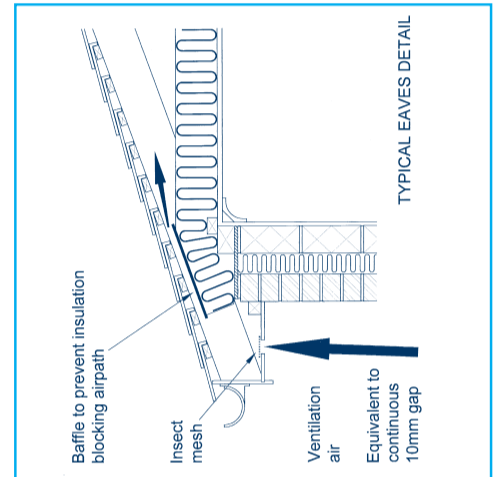
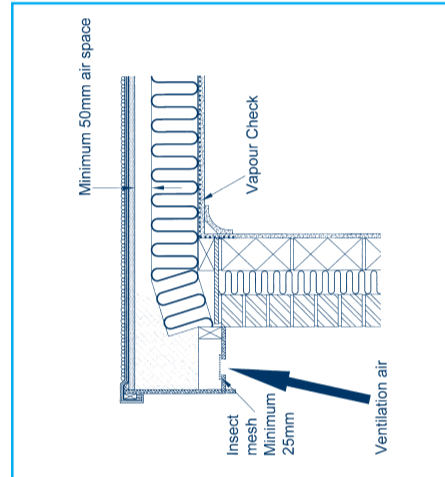
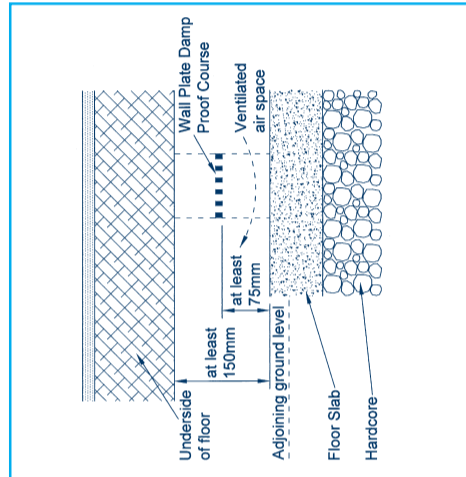
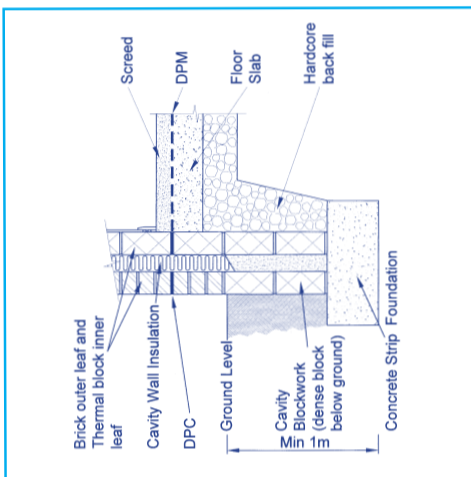
### 7. Means of Escape

If escape is through another room, a means of escape window should be provided with a Clear Opening of 0.33m<sup>2</sup>, all parts of which should be a minimum of 450mm in height or width and maximum of 1100mm above floor level.

### 8. Electric

Fixed electrical installation should be carried out to BS 7671: 2001 by registered electrical contractor. Certification should be provided to client and local authority upon completion of electrical work.

**Please note this is not a comprehensive list of all the requirements necessary to undertake a garage conversion.**



## Guidance Notes for Garage Conversions

### Notes:

- These notes are applicable to domestic property only. They are for guidance only and are not intended to be a comprehensive list of the requirements. There may be alternative ways of meeting the requirements of the Building Regulations.
- For Planning permission please consult the Development Control Section of this Council.
- If a critical Public Sewer (i.e. drain diameter exceeds 225mm) is found to be within 3 meters of the proposal then Southern Water Services Ltd. will be contacted and it is likely that Building Regulation approval may be refused until a legal agreement has been made with S.W.S Ltd.
- To meet the requirements of the European Community directive which came into force on 1<sup>st</sup> January 1995 measurements must be in metric units. You may include imperial units alongside metric units if you wish to do so.

### Application Forms

Two copies of a plan are required; one could be coloured to clearly show the extent of the new work. Plans to be submitted, together with two copies of application forms obtained from the Building Control Department, Civic Offices, Civic Centre Road, Havant, PO9 2AX (Tel: 023 9244 6571).

Two copies of a block plan/site location plan (i.e. OS extract) are also required. These may be obtained for a fee from Customer Services Reception in the Civic Offices. The necessary plan deposit charge will also need to be submitted with a Full Plans Application. Charges information is available upon request.

### Note:

**An alternative application procedure to that noted above can be given in the form of a Building Notice, where the Building Works are of a minor nature in connection with Domestic Dwellings only**

Your Building Control Surveyors will be pleased to assist you in any further enquiries:

- Waterlooville/Cowplain:  
Tel: 9244 6576
- Leigh Park/Purbrook/Widley/ Bedhampton/ West Leigh:  
Tel: 9244 6643
- Havant/Emsworth/Langstone:  
Tel: 9244 6574
- Hayling Island:  
Tel: 9244 6577

Admin and answer phone Tel: **9244 6571** or **9244 6573**  
Email address: **Planning.Development@havant.gov.uk**

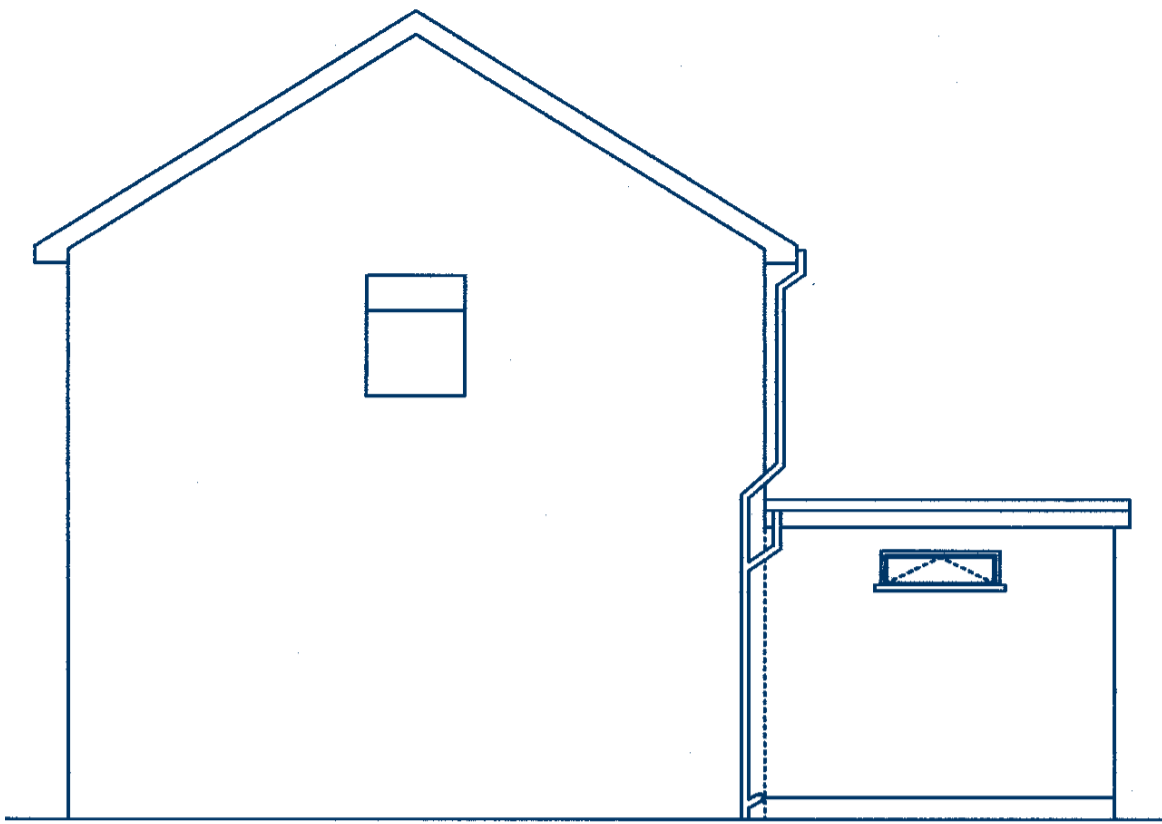
It is advisable to telephone between the following hours:  
**9.00am - 10.00am and 4.00pm - 5.30pm**  
(Outside office hours a telephone answering service operates)



# BUILDING CONTROL 3

## Guidance Notes for Garage Conversions

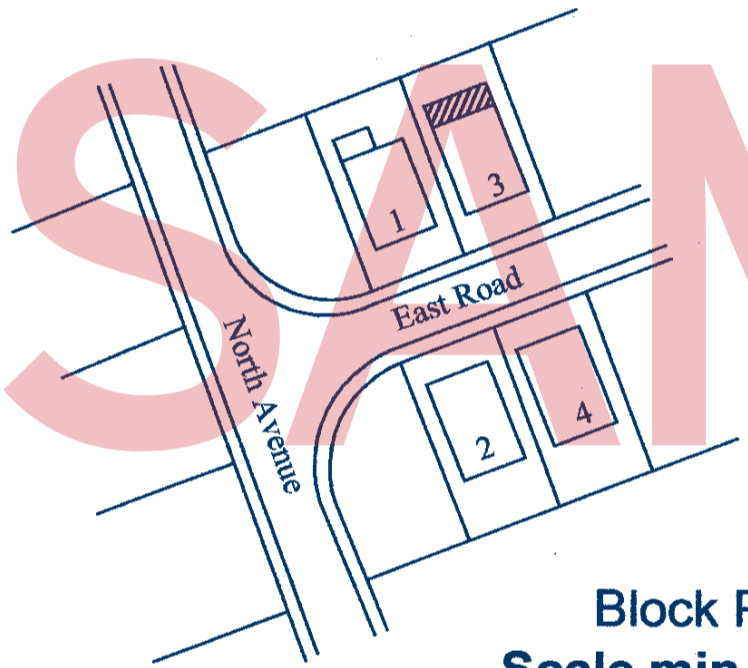




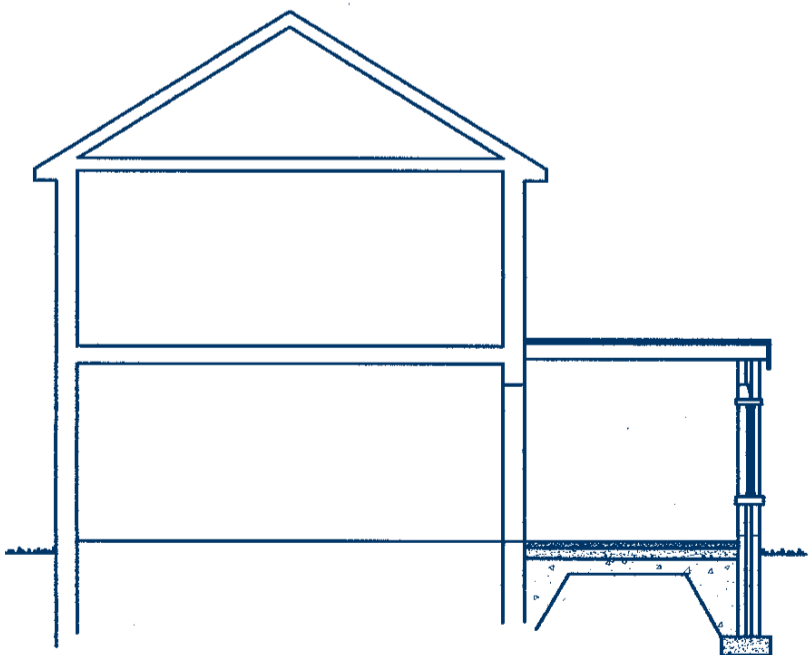
EAST ELEVATION



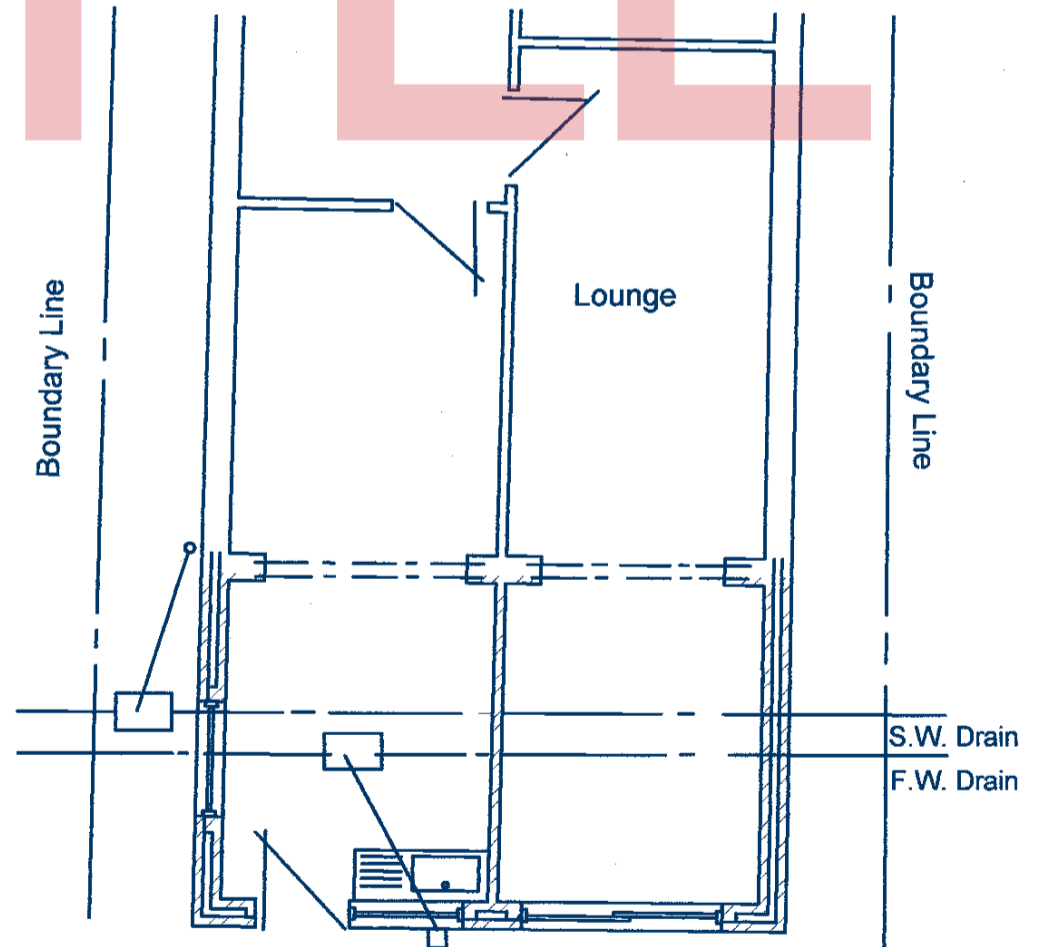
NORTH ELEVATION



Block Plan  
Scale min. 1:1250



Section



PLAN

**Proposed rear extension at No. 3 East Road, Anytown**  
**Scale 1:50 or 1:100**