

Construction Notes

1. Loft Conversions in Existing Bungalows (Fire Safety)

Where a loft conversion results in a two-storey dwelling, additional fire precautions are required. The new habitable rooms at first floor level will require a means of escape windows. In addition, mains operated inter-linked smoke detectors are required to be installed at ground and first floor levels.

Note: Means of escape windows must provide a Clear Opening of 0.33m², all parts of which should be a minimum 450mm in height or width.

2. Loft Conversions in Existing Two-storey Dwellings (Fire Safety)

Where forming additional room(s) in the roof space of an existing two-storey dwelling, thereby creating a three-storey dwelling, additional structural fire precautions and means of escape requirements apply. These apply due to the greater height above ground level, the resulting increase in travel distance to the buildings exit and delay in becoming aware of a fire on the ground floor. Additional requirements include half hour fire resisting construction to the stairwell and the new third floor and fire doors. The existing stairs should not discharge directly into an open-plan lounge or other habitable room. The provision of mains operated inter-linked smoke detectors is required at all floor levels. Existing doors to habitable rooms including a kitchen should be replaced with fire doors with any glazing made fire resisting.

3. Structure

i) Existing

Where the existing roof construction is to be altered, i.e. removal of purlins and struts, the roof must continue to be adequately supported usually via load-bearing studwork onto load-bearing elements such as internal walls or new steel beams, structural calculations will be required for this type of work.

ii) Floor

It is unlikely that the existing ceiling joists will be adequate therefore new joists will need to be inserted (these may be laid between the existing joists) to act as the floor due to the increase in loads. Their size will be dependant upon the spans involved and if supporting additional loads such as the roof/stud walls, then calculations will be required.

iii) Dormers

The dormer construction must include a suitable head beam over the window supported off posts at either side (100 x 100 posts are usually adequate). The posts must be supported on load-bearing elements such as existing walls or new steel beams. The sidewalls of the dormer (dormer 'cheeks') are usually built off double/treble joists/rafters and require half-hour fire resistance internally (and also externally if within 1 meter of boundary).

iv) Dormer Roof

Usually 12.5mm chippings on three layers of felt to BS 747 laid to CP144. Alternative roof finishes should be checked with the Building Control Surveyor.

4. Thermal Insulation

Dormer ceiling/roof, cheeks and stud walls and any place exposed either to the external air or roof space must be provided with thermal insulation (usually 250mm glass fibre or 140mm rigid polyisocyanurate foam) Alternative insulated products are available thickness may vary. 50mm airspace is required above the insulation for cross-ventilation purposes. Via 25mm soffit and 5mm continuous ridge ventilation unless breathable felt has been used.

5. Ventilation

Windows must be low-E double-glazed type and provided an opening area amounting to a minimum 1/20th of floor area to each room with background ventilation min. 8000mm² for each habitable room (i.e. trickle ventilators). Bathrooms and shower rooms require mechanical ventilation and 5000mm² background ventilation. Mechanical ventilation will also be required to internal rooms without windows which should be vented to outside of the property.

6. Stairs

A minimum stair width of 800mm is recommended. Headroom, vertically above the pitch line should be 2 metres. Maximum rise per step should be 220mm with a minimum going of 220mm the pitch of the stairs should be no greater than 42°. A handrail must be fitted 900 above the pitch line of stairs or the floor of any landing, fitted with vertical rails having no gaps greater than 100mm sphere. If unusual stair case designs is proposed, please consult Building Control to clarify the requirements.

7. Electric

Fixed electrical installation to be carried out to BS 7671: 2001 by registered electrical contractor, certification should be provided to client and local authority upon completion of electrical work.

Please note this in not a comprehensive list of all the requirements necessary to construct a loft conversion.

Guidance Notes for Loft Conversion

Notes:

- 1) These notes are applicable to domestic property only. They are for guidance only and are not intended to be a comprehensive list of the requirements. There may be alternative ways of meeting the requirements of the Building Regulations.
- 2) For Planning permission please consult the Development Control Section of this Council.
- 3) To meet the requirements of the European Community directive which came into force on 1st January 1995 measurements must be in metric units. You may include imperial units alongside metric units if you wish to do so.

Application Forms

Two copies of a plan are required; one could be coloured to clearly show the extent of the new work. Plans to be submitted, together with two copies of application forms obtained from the Building Control Department, Civic Offices, Civic Centre Road, Havant, PO9 2AX (Tel: 023 9244 6573).

Two copies of a block plan/site location plan (i.e. OS extract) are also required. These may be obtained for a fee from Customer Services Reception in the Civic Offices. The necessary plan deposit charge will also need to be submitted with a Full Plans Application. Charges information is available upon request.

Note:

An alternative application procedure to that noted above can be given in the form of a Building Notice, where the Building Works are of a minor nature in connection with Domestic Dwellings only

Your Building Control Surveyors will be pleased to assist you in any further enquiries:

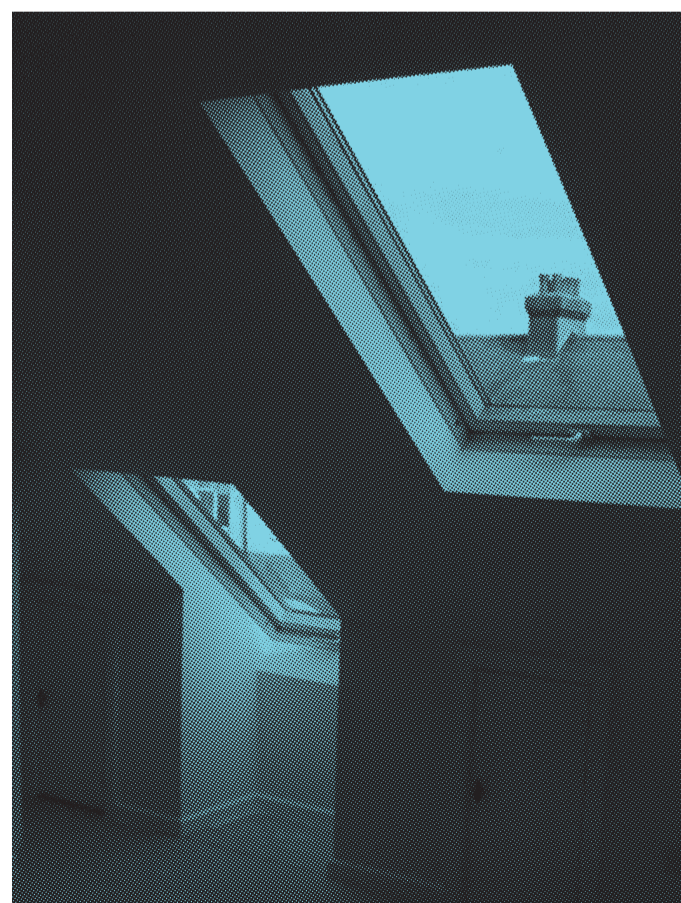
1. Waterlooville/Cowplain:
Tel: 9244 6576
2. Leigh Park/Purbrook/Widley/ Bedhampton/ West Leigh:
Tel: 9244 6643
3. Havant/Emsworth/Langstone:
Tel: 9244 6574
4. Hayling Island:
Tel: 9244 6577

Admin and answer phone Tel: **9244 6571** or **9244 6573**
Email address: **Planning.Development@havant.gov.uk**

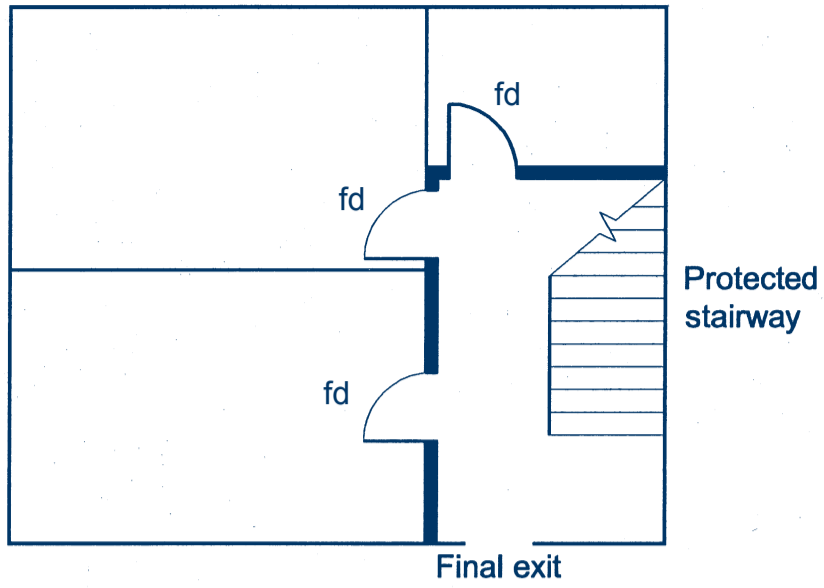
It is advisable to telephone between the following hours:
9.00am – 10.00am and 4.00pm – 5.30pm
(Outside office hours a telephone answering service operates)



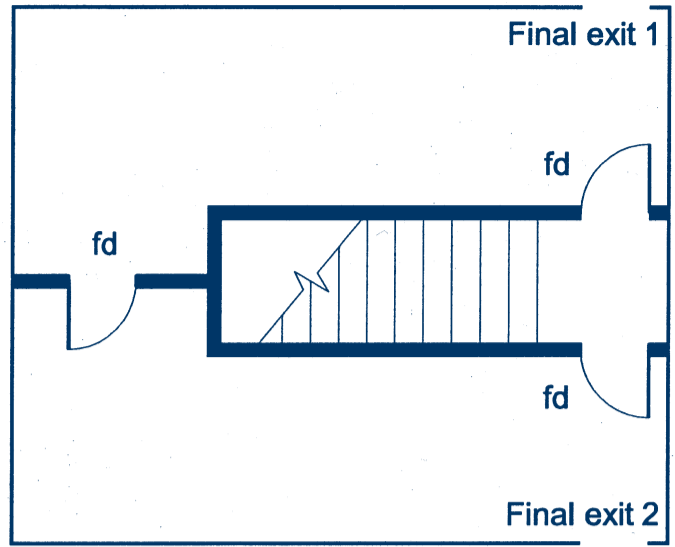
Guidance Notes for Loft Conversions



(a) Protected stairway



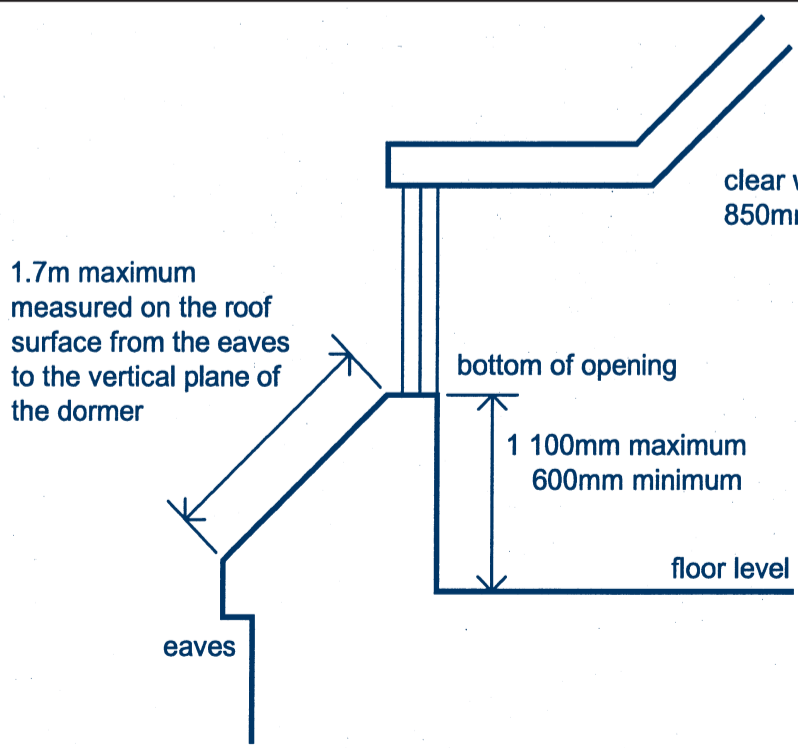
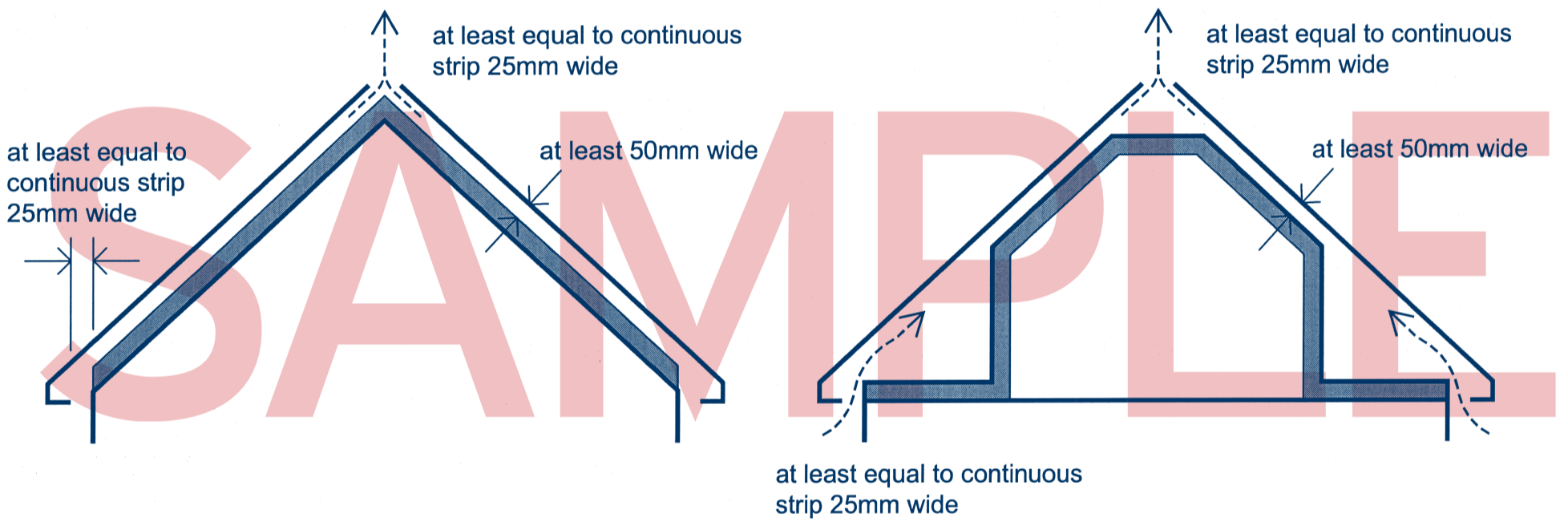
(b) Inner Stairway with Alternative Exits



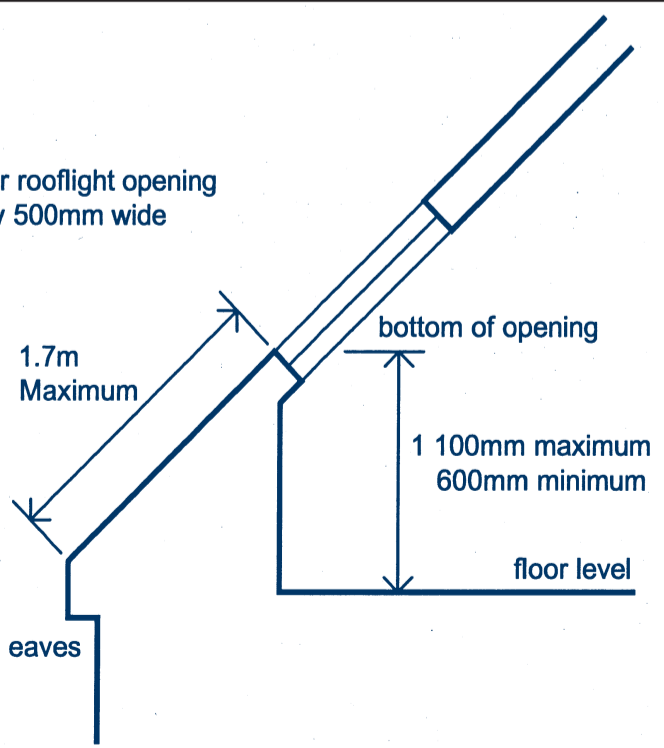
Key:

- 30 minute fire resisting structure
- fd - self closing FD 20 fire door
- sc - existing doors fitted with self-closing device.

NOTE: All new doors must be FD 20 fire doors



Dormer Window
The window may be in the end wall of the house, instead of the roof as shown.



Rooflight or Roof Window