

THE IMPLEMENTATION STRATEGY

3.1 DELIVERY OF THE VISION

NEXT STEPS

Following the submission of the revised information for the Outline Planning Application for West of Waterlooville, Grainger will be commencing the Detailed Design of the first phase with an aim to submit detailed consent over the months to follow. The quality and commitment of the development will be demonstrated through the implementation of Phase One.

For future phases of the development Grainger's commitment to build out part of the development themselves would involve the creation of a set of well conceived Design Guidelines that set a framework for designers to work within. The design criteria of the Design Guidelines would provide the designer with broad principles that with flexible and inventive interpretation could be used to design places that are cared for and work well. The detailed design of Phase one will be an example of this.

The Design Guidelines would include examples of best practice and emerging issues such as sustainability, types of tenure and the impact on the life of a building. This guide will be used in different ways and at varying stages of the development process as a prompt and a checklist to help prepare the brief to inform future development plots, to inform the design process and to evaluate and assess responses to a specific solution required.

The Design Guidelines would provide a mechanism that would allow future phases to ensure

compliance with the design principles set up by Grainger. If Grainger were to sell off any of the development plots to other developers, these would be sold within the parameters of these guidelines. The Design Guidelines would be seen as a way of managing the design process to ensure that a commitment to quality continues beyond completion of construction. Prospective developers would obtain a reconciliation of the detailed design in relation to the principles within the Design Guidance document.

MANAGEMENT

A Management Company would be formed and members will include a Housing Association (the first phase lead RSL will be Hyde Housing Association), the Hampshire Wildlife Trust and Grainger. This central nucleus of members is likely to be added to over time to offer both a balance of representation for residential (private and affordable), employment and community groups and to afford proper and effective management of the built environment and the landscape.

It is envisaged that an estate management/service charge will be levied on all to help defray the costs of exceptional services. Grainger will endow a central management fund with 'commuted payments' to estate maintenance. All roads, SUDS and other infrastructure will be built to a high standard but may be retained and maintained by the Company. The Management Company will be based on site, probably within the Community or Innovation Centre buildings and would be responsible for:

- Community development and welfare including accommodation information, repair and facilities management;
- Sustainability issues including a 'Green Travel Plan';
- Provision/maintenance of any communal biomass or similar heating systems
- Issues relating to sales, lettings and good estate management
- The management of the communal open spaces, agricultural land and woodland.

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3.2 THE SUSTAINABILITY STRATEGIES

The recent Stern review assembled an overwhelming body of scientific evidence which makes it clear that human activity is changing the world's climate.

The UK government has reacted to this in a number of ways, including the Code for Sustainable Homes and a public consultation on Building a Greener Future: Towards Zero Carbon Development. The Code builds on EcoHomes, but unlike EcoHomes it sets minimum energy and water standards that must be achieved for each level of the Code, ensuring that developments are unable to achieve a high rating without being energy and water efficient. Building a Greener Future maps out a strategy for achieving zero carbon emissions from all new housing by 2016. The strategy proposes to progressively increase the minimum Code Level required to gain planning permission. To kick start this process the Government will introduce a time-limited stamp duty in 2007 on the majority of zero carbon homes.

It is in this context that Grainger is proposing to create a sustainable development in its widest definition.

The sustainability targets set out in the masterplan, should be the start for the detail design of the new homes, of the landscape infrastructure and the public realm.

Grainger intend to reduce the ecological impact of the development at West of Waterlooville, both in the construction phase and in the longer term by putting in facilities that allow the residents to lead a more sustainable lifestyle. This strategy has used ecological footprinting to define a sustainable

community and demonstrate how the impact of the development can be reduced in the long term and the challenge of climate change addressed.

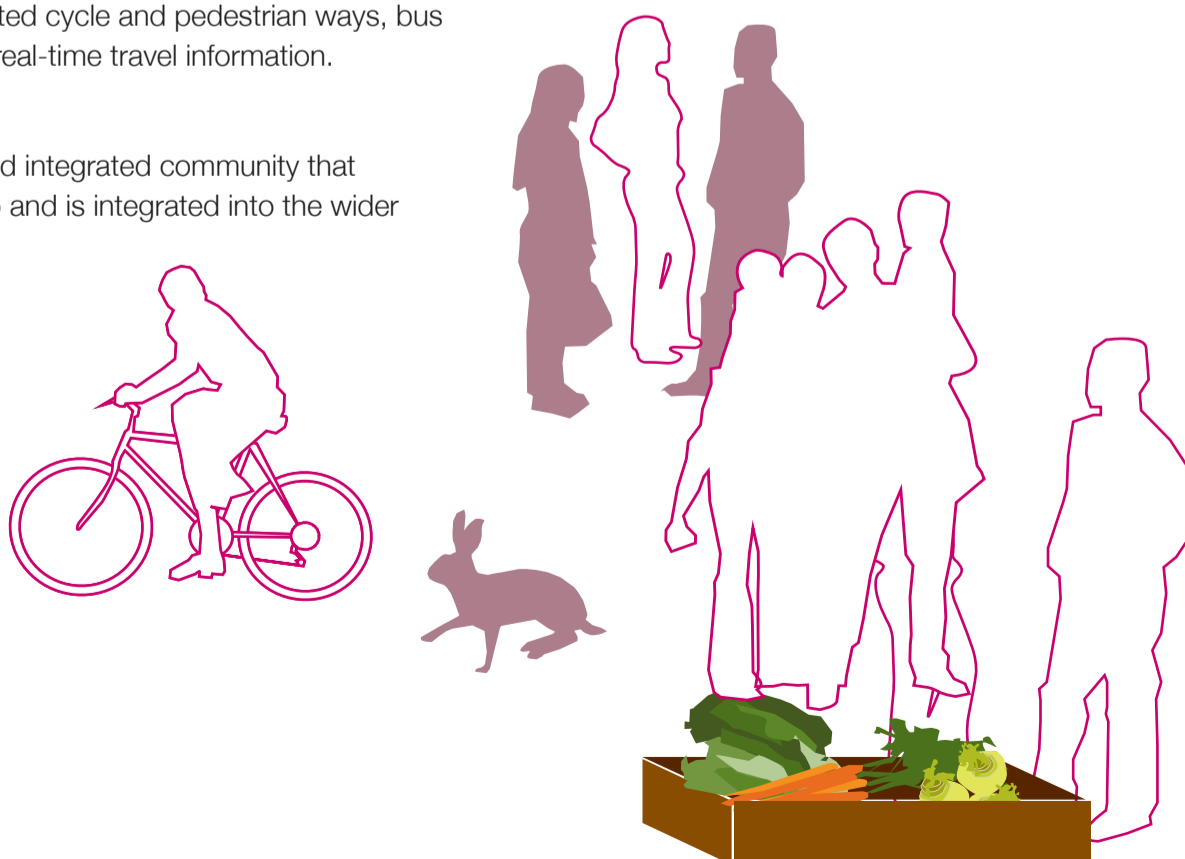
Grainger aspires to create a development that enables people to lead more sustainable lifestyles by providing a residential district within easy walking or cycling distance of local facilities, the existing business park and public transport links. In parallel with the sustainability agenda, Grainger is committed to creating a development where the quality of the built environment and the landscape of its public realm have been given a high priority.

In this instance Grainger is committed to:

- A sustainable development in its widest sense, including use of resources, environmental performance, social infrastructure, public transport, open space and the built environment.
- A variety of high quality housing of varied size and tenure within easy walking or cycling distance of both employment opportunities and local amenities.
- A design that aims to reduce the need to travel by providing a range of facilities on site and good viable alternatives to the private car. From an infrastructure perspective this includes good, safe, segregated cycle and pedestrian ways, bus shelters with real-time travel information.
- A mixed and integrated community that contributes to and is integrated into the wider

community of Waterlooville, the Portsmouth area and the South East of England.

The following table lists the strategies that will be implemented at West of Waterlooville from day one. The right hand column shows the targets for each principle. At this stage these targets should only be seen as a guide because before the detailed design has been undertaken and the construction systems finalized it is impossible to set firm targets. Nonetheless the targets show that at this stage Grainger is already demonstrating a commitment to minimise the impact of the construction process and maximise the social, environmental and economic benefits of the development.



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3.2 THE SUSTAINABILTY STRATEGIES

	STRATEGIES	TARGETS
Natural Habitats and wildlife	<p>Protecting existing habitat</p> <ul style="list-style-type: none"> All main features of ecological value, including woodland, grassland, watercourses and designated sites protected within the masterplan. Use native hedging as garden boundary treatment. Possible use of hazel wattle fencing for short term demarcation, until hedges mature 	
	<p>Habitat creation</p> <ul style="list-style-type: none"> New planting primarily based on native and locally appropriate species of local provenance New areas of habitat created; new wetlands, woodlands, and grassland to enhance and protect existing habitats and provide enhanced habitat networks for species such as dormouse Restoration of the River Wallington providing opportunities for colonisation by species such as water vole and otter 	
	<p>Further aims of the Hampshire BAP, creating habitats for priority species:</p> <ul style="list-style-type: none"> Provide increased nesting and roosting opportunities through provision of new bat boxes and nesting boxes Provide refugia and hibernacula adjacent to new wetland areas, for amphibians and reptiles 	

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Health and Happiness	<p>Promoting healthy lifestyles</p> <ul style="list-style-type: none"> • Excellent provision for outdoor activity and recreation, from walking, running and cycling, new play facilities, teen facilities such as ball sports and skate ramps • Access to the wider landscape for informal recreation. Provision of the rural multi use route, north south through the MDA • Safe well overlooked landscape areas • Provision of pedestrian cycle ways and encouragement of sustainable transport measures to aid in the reduction of traffic related pollutants. • ‘Healthy’ buildings with no toxic materials in the finishes, flooring or exposed inner surfaces, but having natural ventilation and high day-lighting levels to create wholesome internal spaces • Nature trails, wilderness areas and woodland paths 	
	<p>Creating an inclusive community</p> <ul style="list-style-type: none"> • At least 10% homes and community will be built to lifetime standards 	
	<p>Creating a safe community</p> <ul style="list-style-type: none"> • ‘Safety’ principles used in landscape design 	
Local and sustainable food	<p>Sustainable food plan established</p> <ul style="list-style-type: none"> • Information on food, healthy eating and the environmental impact of different foodstuffs on the community website • Local store encouraged to sell local and organic ranges 	
	<p>Food growing on site</p> <ul style="list-style-type: none"> • Allotments included as part of the scheme at the ratio recommended by the allotment association • Landscaped areas can include fruit and nut trees, and a community orchard. Possible location north of the existing woodland on the edge of the Common 	
	<p>Encouraging links with local producers</p> <ul style="list-style-type: none"> • Emphasise local food and traditional crafts in on-site shop, restaurant, facilities, this could be by: <ul style="list-style-type: none"> - Farmers market or stall - Work with local farmers to provide local food 	

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3.2 THE SUSTAINABILITY STRATEGIES

	STRATEGIES	TARGETS
Low Carbon	<p>Reduced energy demands for buildings/ infrastructure through high performance fabric and fittings</p> <ul style="list-style-type: none"> • 'Best practice' fabric specification • Natural ventilation • 50% low energy lighting • A rated fridge/freezer and washing machine 	<p>BREEAM, EcoHomes 'Very Good' as a minimum, 'Excellent' in some areas.</p> <p>'Best Practice' energy specification as a minimum. Carbon emissions target of 25kgCO2/m2 for domestic. Non-domestic to achieve 10% reduction on Part L 2006</p>
	<p>Awareness raised of energy use</p> <ul style="list-style-type: none"> • Prominent meters • Annual provision of energy consumption re the site and other similarly sized houses. 	
	<p>Renewable energy</p> <ul style="list-style-type: none"> • Inclusion of a proportion of building integrated renewable energy e.g. solar water heating 	<p>Minimum of 10% on-site renewable energy</p>
Local and Sustainable materials	<p>Reducing the embodied energy of construction</p> <ul style="list-style-type: none"> • Opportunities for using local and recycled materials in the landscape areas. Eg crushed construction waste as path bases • Lime stabilisation techniques used to improve the bearing capacity of the clay on the site, in order to reduce the need to remove unsuitable materials from construction areas and import virgin aggregates • Space on site for storage of reclaimed materials for use in the construction phase • Maximise reclaimed and recycled, use WRAPs REconstruct programme 	<p>Targets:</p> <ul style="list-style-type: none"> • 550 CO2/m2, • 25% reclaimed or recycled content
	<p>Supporting sustainable forestry</p> <ul style="list-style-type: none"> • Choose timber from well-managed sustainable sources, such as FSC certified timber 	<p>Aim for 80% certified or reclaimed timber</p>
	<p>Avoid unhealthy materials</p> <ul style="list-style-type: none"> • Avoid PVC wherever possible 	
	<p>Local materials:</p> <ul style="list-style-type: none"> • Source materials as locally as possible but balance against possible benefits of modern methods of construction and offsite manufacture 	<p>35% local materials by weight</p>

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STRATEGIES	TARGETS	
<p>Zero Waste Plan developed in consultation with Local Authority</p> <ul style="list-style-type: none"> Integrate waste and recycling facilities into local authority collection Provision of Household Waste Recycling centre within MDA There should be capacity for residual municipal waste at the Energy Recovery Incinerator in Portsmouth 	<p>Reducing Domestic Waste</p>	
<p>Encourage composting</p> <ul style="list-style-type: none"> Provision of a compost bin to all houses with large enough gardens 		
<p>Promoting recycling:</p> <ul style="list-style-type: none"> Segregated bins in houses to facilitate recycling and transfer to community recycling containers Provide information/facilities on the community intranet <ul style="list-style-type: none"> Recycling and composting facilities How to reduce waste generation Promote products with low packaging and/or a recycled content Freecycle / exchange network Directory of local repair services Green caretaker to monitor recycling and encourage waste reduction 		
<p>Reduce construction waste</p> <ul style="list-style-type: none"> Sign up for BRE SMARTWaste (www.smartwaste.co.uk/) Use landscape/habitat creation areas to accommodate surplus soils, avoiding the need to export off site. Temporary recycling facility on site for construction waste as appropriate. 		<p>Construction waste best practice (average practice) is:</p> <ul style="list-style-type: none"> 20m³/£100K (50) 8.35m³/100m² (11.7) <p>Aim is to achieve Best Practice, and as a minimum generate maximum waste of:</p> <ul style="list-style-type: none"> 35 m³/£100K (50) 14m³/100m² (20)
<p>Reducing business waste</p> <ul style="list-style-type: none"> Reduce commercial waste by providing fully managed offices including a centrally run recycling services All employment spaces built as unfurnished shells or bespoke designs commissioned by clients; preventing wastage by businesses changing the internal fittings 		

Minimal Waste

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Sustainable water	<p>Flood control</p> <ul style="list-style-type: none"> Sustainable drainage system. All planting will be selected for low water requirements i.e. no irrigation Design to include: swales; balancing ponds; and recreational lake The development will also provide the opportunity to naturalise a 1km length of culverted flood relief channel and to improve its biodiversity 	
	<p>Reduce demand</p> <ul style="list-style-type: none"> Low water use fittings e.g. aerating taps and showers, dual flush WCs, low water use baths 	Achieve a minimum of 3 ecohomes credits, (less than 42m ³ /bedspace/yr) equating to a 30% reduction over UK average (as calculated using BRE's EcoHome tool)
	<p>Reuse where possible</p> <ul style="list-style-type: none"> Rainwater collection for toilets where appropriate in employment area Water butts in all houses 	25% reduction in per person water consumption for employment use, and school
	<p>Waste water treatment</p> <ul style="list-style-type: none"> Sewage transported to the Water Treatment and Sludge recycling centre in Langstone, which runs on methane produced by the sludge and provides fertiliser in the form of dry pellets. 	
Culture and Heritage	<p>New culture of sustainable development</p> <ul style="list-style-type: none"> Create a culture of sustainable development by incorporating the employment areas into the sustainability strategies of the site Promotion of sustainable industries in the employment areas: <ul style="list-style-type: none"> 'Innovation centre' Car club/hire business Community recycling initiatives 	
	<p>Performance art</p> <ul style="list-style-type: none"> The Common could provide a space and focus for community activities, linked to a community building. Allow space for general events such as fetes and fairs 	
	<p>Visual art</p> <ul style="list-style-type: none"> Exhibition space for local artists Promote local art, by using the art budget to encourage local artists 	

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Culture and Heritage	<p>Education and wider integration</p> <ul style="list-style-type: none"> Integration with local education facilities; engineers at Portsmouth University will be using the SUDs as a study area and links will be sort with other departments 	
	<p>Community cultural facilities</p> <ul style="list-style-type: none"> Provide community centre facility for use by residents for cultural events Use of community intranet: <ul style="list-style-type: none"> Cycling club Walking club Notice boards 	
	<p>Reviving traditional industries</p> <ul style="list-style-type: none"> Revival of traditional industries, e.g. charcoal production (http://freespace.virgin.net/j.purkis/lonely.htm) and traditional orchards (such as those grown at Blackmoor Estate http://www.blackmoor.co.uk/about.php) Interpretation of the county's ship building history 	
Equality and Fair Trade	<p>Varied housing types</p> <ul style="list-style-type: none"> The development offers homes to a range of income groups, from social housing for disadvantaged groups to luxury housing The development offers amenities for different age groups – from young children's play facilities to a gym for working people to a leisure room for seniors Buildings, facilities and grounds are designed for wheelchair and pushchair access 	Use Lifetime homes Principles
	<p>Promoting fair trade</p> <ul style="list-style-type: none"> Integration of fair trade products into the proposed local farm shop Information on retailers and suppliers of local traditional and fair trade products and services on the community intranet 	
	<p>Supporting local employment</p> <ul style="list-style-type: none"> Local labour and training policy for all of the contractors 	

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<p>Reducing the need to travel</p> <ul style="list-style-type: none"> • Providing diverse facilities on site: <ul style="list-style-type: none"> o Health centre, pharmacy and nursery o Public house, retail, hair dresser and restaurants o Outdoor recreation facilities o Excellent close links to the adjacent countryside • Rentable office and meeting space onsite • <u>Community reprographics facility for homeworkers</u> 	
<p>Encouraging cycling and walking</p> <ul style="list-style-type: none"> • Cycle access and parking throughout the site; • Well designed cycle lane scheme • Safe pedestrian access within site • Design facilitate Home Zone system where car access to housing areas is controlled and with a 20mph speed limit • Secure cycle parking to each household and visitor cycle parking • <u>Connect with footpaths into the countryside</u> 	
<p>Car club</p> <ul style="list-style-type: none"> • <u>Provision of a car club for residents</u> 	
<p>Public transport</p> <ul style="list-style-type: none"> • Ensure good links with public transport nodes, e.g. bus route with convenient stops around the community • <u>High frequency bus services with shelters and real time information</u> 	
<p>Green transport plan including:</p> <ul style="list-style-type: none"> • Transport coordinator • Provision of Travel Folder for each dwelling on first occupation including details of public services and walk and cycle routes • Provision of a community website incorporating a public transport journey planner • Aid setting up of travel plans for local primary and secondary schools • Assistance in setting up local business travel plans with websites incorporating travel information and cycle parking facilities • <u>Provision of travel posters</u> 	
<p>Alternative fuels</p> <ul style="list-style-type: none"> • Support the conversion of buses to run on waste vegetable oil 	

Sustainable transport